

**PROJECT DESIGN FIRM**



PROJECT: **MULTI-UNIT REDEVELOPMENT PLANS**  
85 JOHN STREET  
BROCKVILLE, ON, CANADA

Corporate Offices:  
224 King Street West  
Brockville, Ontario

613 - 926 - 5350  
info@annabledesigns.ca  
www.annabledesigns.ca

**REDEVELOPMENT PLANS**

**ANNABLE DESIGNS IS A PROUD MEMBER**



Local, Vetted & Trusted Professionals

Before you hire any professional, business or trade - be sure to ask first if they are an **APPROVED PROFESSIONAL!**

This Free-to-Use Public Program is now Provincially Governed with active members & representation within these Municipalities:

- Province of Ontario - - - - - → www.ONTApproved.ca
- Leeds & Grenville - - - - - → www.LGApproved.ca
- Kingston & South Frontenac - - - - - → www.KSFApproved.ca
- Stormont, Dundas & Glengarry → www.SDGApproved.ca
- Ottawa, Orleans & Nepean - - - - - → www.OONApproved.ca

**Annable Designs Co. Ltd.** is fully Insured, Registered, and Licensed with BCIN by:

Ministry of Municipal Affairs and Housing  
**Ontario**

**BCIN**  
Building Code Identification Number

Please Note: that as per the Ministry of Municipal Affairs and Housing, As per 15.11-(5) of the Ontario Building Code; NO PERSON shall engage in the activities of "Design" or give opinion concerning house construction/design whether that be in the form of sketches, plans, specifications, drawings or graphic representation unless they are qualified and meet the requirements of the Ontario Building code. It is illegal and should be reported.

If you are looking to research Annable Designs Co. Ltd registration or Other Competitors, visit the link below to ensure who you are potentially working with is a Registered Designer and/or Firm: <https://www.quarts.mah.gov.on.ca/BCINSearchWeb/search.html>

**COPYRIGHT 2023 Annable Designs Co. Ltd.**

**Terms of Acceptance and Use:**  
We are hereby providing electronic database file(s) as requested.

**USE OF THESE FILES SHALL CONSTITUTE UNCONDITIONAL ACCEPTANCE OF THE FOLLOWING CONDITIONS:**

- The file user agrees to accept computer media and files for the above referenced project from **Annable Designs Co.** without any warranties, guarantees and/or representations of any nature whatsoever regarding the correctness, accuracy and/or completeness of any information contained therein.
- The user further agrees that such information shall be used as reference material only, and then only for this project and not for other projects or future additions to this project, without **Annable Designs Co.** express written consent in each instance.
- By use of such media and information, the user further agrees to release, indemnify, hold harmless and defend **Annable Designs Co.** with respect to any claims, costs, losses, damages and/or liabilities, including reasonable attorney's fees and cost of defense, arising out of or relating to its use, misuse, modification, interpretation, misinterpretation and/or misrepresentation.
- The user acknowledges that the information contained on media provided by **Annable Designs Co.** does not necessarily reflect the information contained in Updates, Revisions, Field/Site Conditions, and/or any other modifications which may have occurred since the time when the plan(s) was completed.
- This information is provided for the informational purposes only and should not be construed as Record documents. Any use of this information in place of the record Documents shall be at the Recipient's own risk. All dimensional information contained within these digital files is based on original measurement information and shall be held verified by all person(s) referencing this plan.
- Finally, the user acknowledges that the use of these files is entirely at its own risk and that such use shall not in any way limit the user's responsibilities.

**© Copyright 2023 - All Rights Reserved Annable Designs Co. Ltd.**

- ARCHITECTURAL PLANS**
- A-0 DESIGN COVER PAGE
  - A-1 GENERAL NOTES & STANDARDS
  - A-2 GENERAL DESIGN & OBC REFERENCES
  - Ex-1 EXISTING : LEVEL 0 FLOOR PLAN
  - Ex-2 EXISTING : LEVEL 1 FLOOR PLAN
  - Ex-3 EXISTING : LEVEL 2 FLOOR PLAN
  - Ex-4 EXISTING : ELEVATIONS
  - A-3 PROPOSED : LEVEL 0 FLOOR PLAN
  - A-4 PROPOSED : LEVEL 1 FLOOR PLAN
  - A-5 PROPOSED : LEVEL 2 FLOOR PLAN
  - A-6 PROPOSED : ELEVATIONS
  - A-7 PROPOSED : ELEVATIONS
  - A-8 DETAILS & STANDARDS
  - A-9 DETAILS & STANDARDS
  - A-10 TYPICAL CROSS SECTIONS
  - A-11 TYPICAL CROSS SECTIONS

- SITE PLANS**
- N/A DESIGN FIRM HAS NOT PREPARED A SITE PLAN OR THIS SITE
- ADDITIONAL SERVICES**
- N/A NO ADDITIONAL SERVICES

PRELIMINARY

NOT ISSUED FOR CONSTRUCTION

**Annable Designs Co. Ltd.**  
All Official Plans are stamped with **RED INK** of our "**Official Plans for Permit / Construction**" stamp. In addition to our BCIN holders sign-off. If plans are not in original red ink and signed they are to be considered invalid plans / not for official use and should be reported to our offices immediately.

?? DATE ??  
ARCHITECT SEAL - As Required



**CONCEPTUAL RENDERING**

(i) Not to Scale # for Conceptual Illustration Only.  
(ii) These plans have been designed using a general representation of the finished product.  
(iii) Materials, finished and minor cosmetic details may vary upon completion.

**MIRABEL MANAGEMENT INC.**

PROJECT ARCHITECT:

**Conflux ARCHITECTURE INC.**  
www.confluxarchitecture.ca  
principal@confluxarchitecture.ca

REVISIONS & RELEASES			
#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	- -	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment # review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment # review

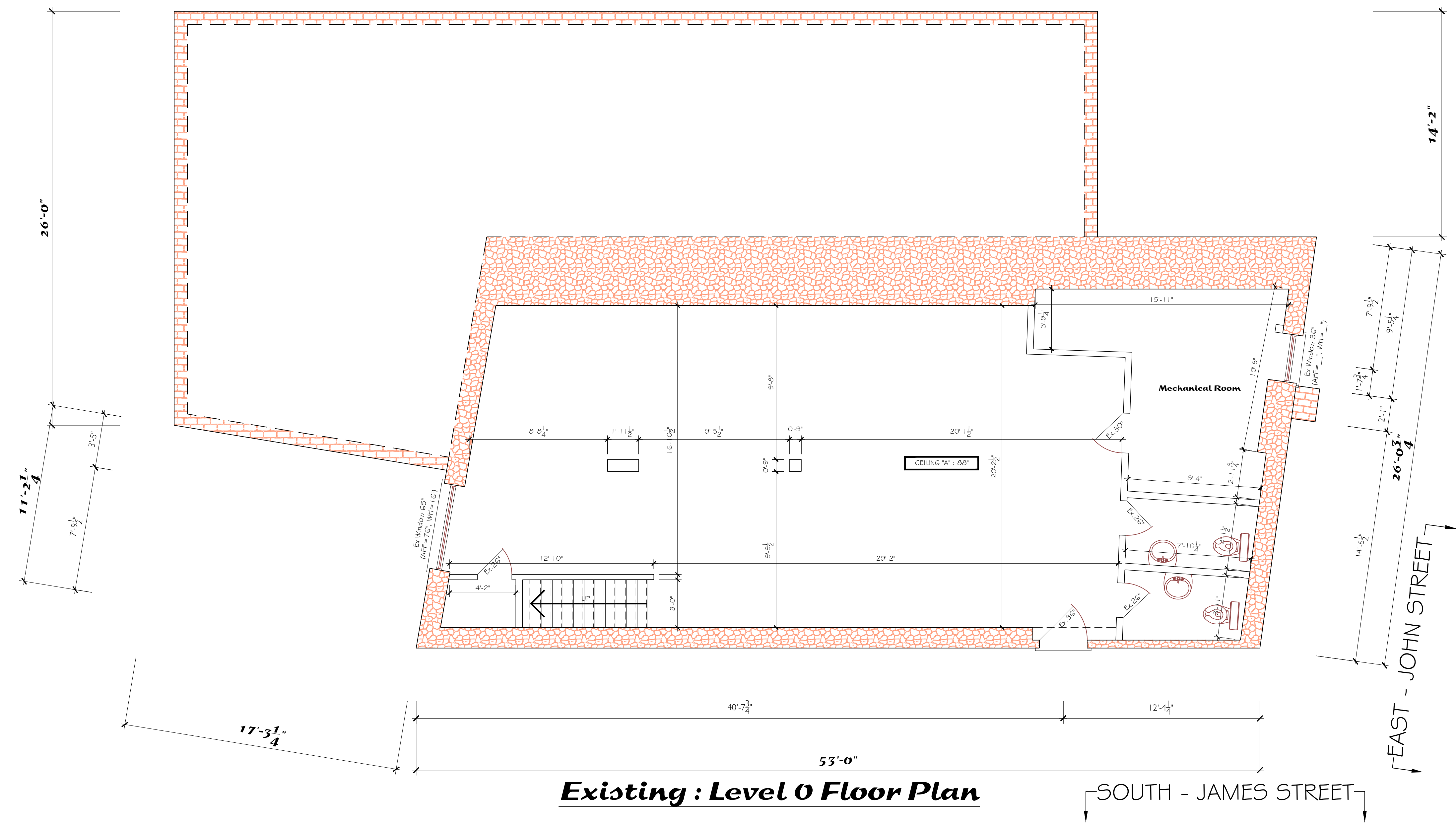
<b>DESIGN COVER PAGE</b>	
PROJECT ID NUMBER <b>1669</b>	SHEET NUMBER <b>A0</b>
COMPLETION DATE: OCTOBER 2023 COMPUTER NO: 1669 VER2-ARCH.DWG CAD BY: D. T. ANNABLE <b>PRELIMINARY</b> <small>(NOT ISSUED FOR CONSTRUCTION)</small> <b>ANNABLE DESIGNS Co. Ltd.</b> <small>(FIRM) DAVID T. ANNABLE - SR. DESIGNER</small>	
SCALE: 1/4" = 1'-0" <b>Rev. 05</b>	



**Existing Measurements:**  
 Builder/Contractor/Owner to verify all Measurements represented on these plans/designs. Design Firm has measured the Existing Conditions to the best of their ability and shall not be liable for discrepancies. Adjustments may be required while demolition or new construction is in progress. The final layout and design is the "best representation" and must be held as consistently and intended as possible and remain in accordance with OBC2012.

**Dimensions of Existing Conditions:**  
 Assumed to be:  
 - Face of Drywall (assumed) for all Exterior Walls  
 - Face of Drywall (assumed) for all Interior Walls  
 - Centerline of Door / Structural Members (unless noted otherwise)  
 - Interior Finishes / Existing Ceiling & Concrete (unless noted otherwise)

# PRELIMINARY



Existing : Level 0 Floor Plan

# NOT ISSUED FOR CONSTRUCTION

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, frepices, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
 Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owner, towards items such as:  
 - Mechanical Systems - Electrical Systems - Foundation Drainage Layer  
 - Veneer Styles/Accessories - Window Styles/Accessories - Railing Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
 - All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
 - These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder, Annable Designs Co. Ltd. and the Undersigned BCN Designer. I warrant any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they comply, or from problems which arise from failure to obtain and/or follow the design firm's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

© Copyright 2023 - All Rights Reserved  
 Annable Designs Co. Ltd.

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	-	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment & review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment & review

**REVISIONS & RELEASES**

**PLAN LEGEND:**

- Existing Stone Foundation
- Existing Block Foundation
- Existing Frame Frost Wall
- Existing Interior Partition
- Existing - To Be Removed
- Denotes : Bearing Point

DRAWING: **EXISTING : LEVEL 0 PLAN**

PROJECT:  
**MULTI-UNIT REDEVELOPMENT PLANS**  
 85 JOHN STREET  
 BROOKVILLE, ON, CANADA



**APPROVED ONTARIO PROFESSIONAL**  
**ANNABLE DESIGNS Co. LTD. IS A PROUD MEMBER**  
 The Approved Professionals Program is your free listing of 100% vetted & approved professionals, businesses and trades. Expanding across the Province of Ontario!  
**Local, Vetted & Trusted Professionals**

Lead Design Firm:  
**Annable Designs**  
 RESIDENTIAL DESIGN-CONSULTING-PLANNING  
 Brockville Offices: Unit 7 - 2211 Parkedale Ave, Brockville, Ontario | 613 - 926 - 5350 | info@annabledesigns.ca | www.annabledesigns.ca

PROJECT ID NUMBER: **1669**  
 SHEET NUMBER: **Ex1**

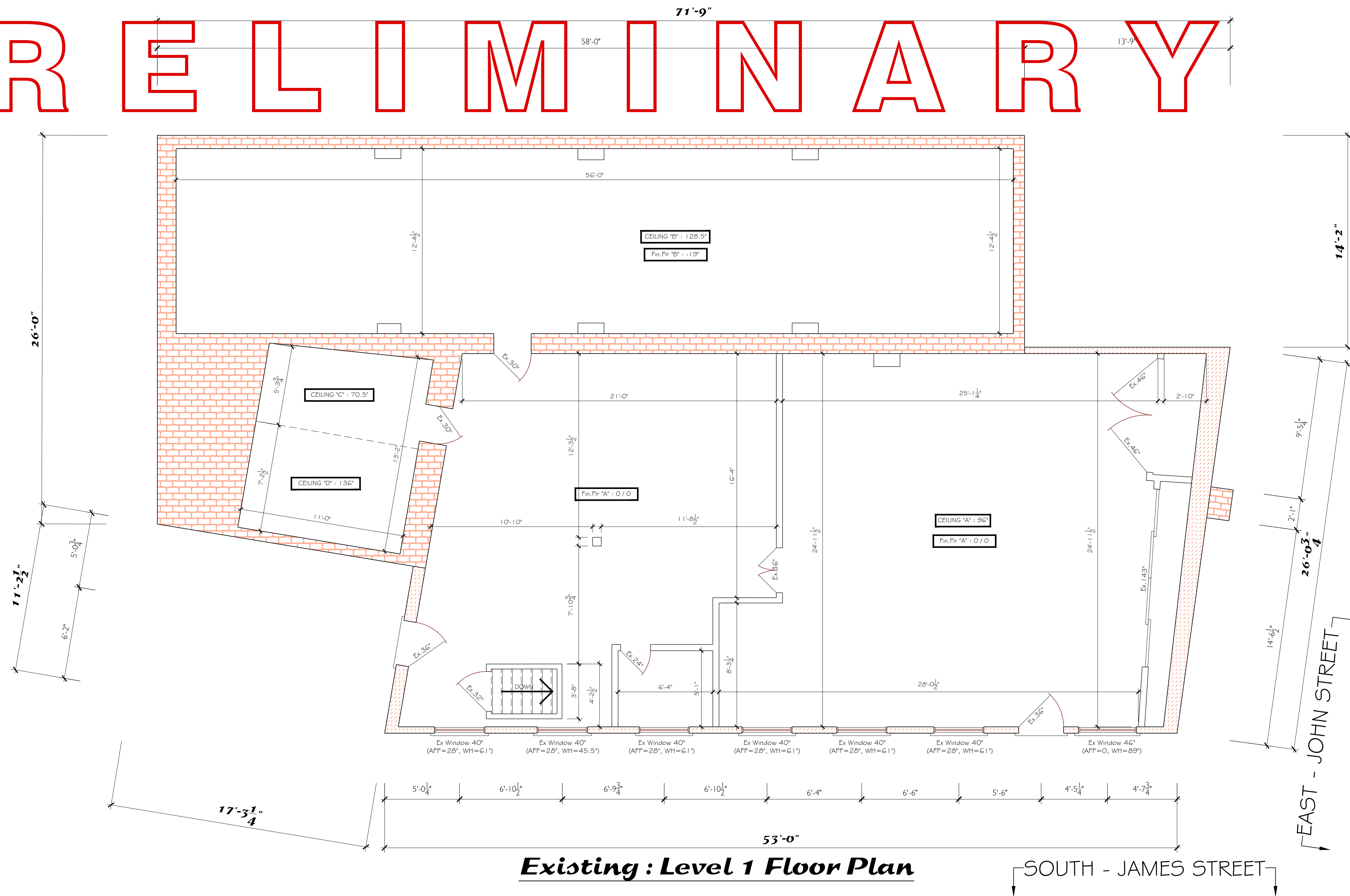
**PLAN CERTIFICATION / VALIDATION**  
 If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.

COMPLETION DATE: OCTOBER 2023  
 COMPUTER NO: 1669 VER2-ARCH.DWG  
 CAD BY: D. T. ANNABLE  
 SCALE: 1/4" = 1'-0"  
**Rev. 05**

**Existing Measurements:**  
 Outside Contractor / Owner to verify all Measurements represented on these plans/designs. Design Firm has measured the Existing Conditions to the best of their ability and shall not be liable for discrepancies. Adjustments may be required while onsite demolition or new construction is in progress. The final layout and design is the "best representation" and must be held as consistently and intended as possible and remain in accordance with OBC2012.

**Dimensions of Existing Conditions:**  
 All items noted to:  
 - Base of Drywall (assumed 5/8") for all Exterior Walls  
 - Base of Drywall (assumed 5/8") for all Interior Walls  
 - Existing / Proposed / Door / Structural Members (unless noted / Dimensioned otherwise)  
 - Interior Dimensions @ Existing / Ceiling & Centreline / Openings (as indicated on line)

# PRELIMINARY



**Existing : Level 1 Floor Plan**

# NOT ISSUED FOR CONSTRUCTION

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, frepices, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
 Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owner, towards items such as:  
 - Mechanical Systems - Electrical Systems - Foundation Drainage Layer  
 - Veneer Styles/Accessories - Window Styles/Accessories - Railing Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
 - All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
 - These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the Undersigned BCN Designer waives any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they comply, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

© Copyright 2023 - All Rights Reserved  
 Annable Designs Co. Ltd.

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	-	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment 4 review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment 4 review

**REVISIONS & RELEASES**

**PLAN LEGEND:**

- Existing Exterior Wall
- Existing Block Wall
- Existing Interior Partition
- Existing - To Be Removed
- Denotes : Bearing Point

**EXISTING : LEVEL 1 PLAN**

PROJECT:  
**MULTI-UNIT REDEVELOPMENT PLANS**  
 85 JOHN STREET  
 BROOKVILLE, ON, CANADA



**ANNABLE DESIGNS Co. LTD. IS A PROUD MEMBER**  
 The Approved Professionals Program is your free listing of 100% vetted & approved professionals, businesses and trades. Expanding across the Province of Ontario!  
**Local, Vetted & Trusted Professionals**

Lead Design Firm:  
**Annable Designs**  
 RESIDENTIAL DESIGN-CONSULTING-PLANNING  
 Brockville Offices:  
 Unit 7 - 2211 Parkedale Ave  
 Brockville, Ontario  
 613 - 926 - 5350  
 info@annabledesigns.ca  
 www.annabledesigns.ca

PROJECT ID NUMBER: **1669**  
 SHEET NUMBER: **Ex2**

COMPLETION DATE: OCTOBER 2023  
 COMPUTER NO: 1669 VER2-ARCH.DWG  
 CAD BY: D. T. ANNABLE  
 SCALE: 1/4" = 1'-0"  
**Rev. 05**

**PLAN CERTIFICATION / VALIDATION**  
 If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.

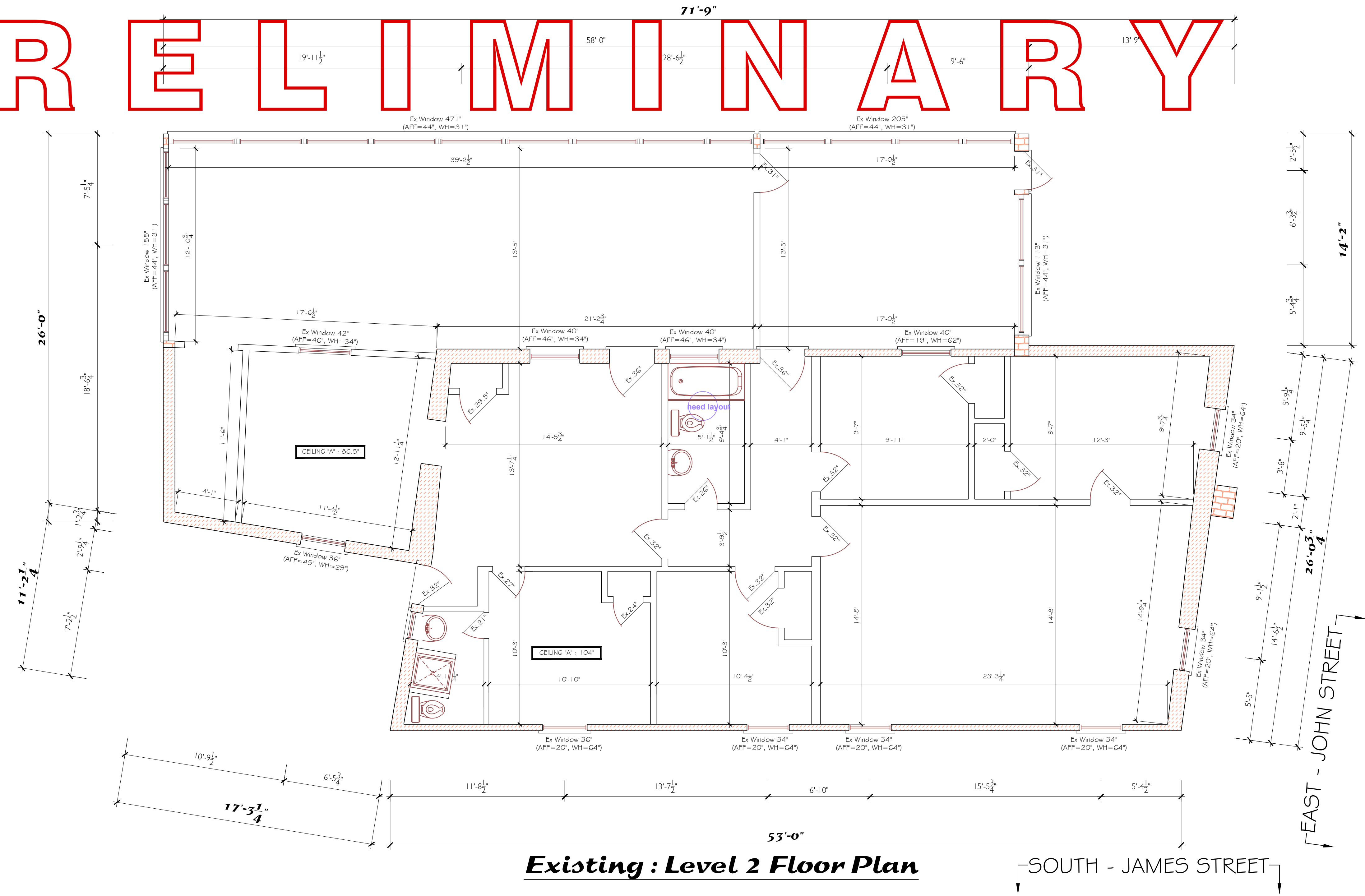
**PRELIMINARY**  
 NOT ISSUED FOR CONSTRUCTION  
 ANNABLE DESIGNS Co. Ltd.  
 (FIRM) DAVID T. ANNABLE - SR. DESIGNER



**Existing Measurements:**  
 Outside Contractor / Owner to verify all Measurements represented on these plans/designs. Design Firm has measured the Existing Conditions to the best of their ability and shall not be liable for discrepancies. Adjustments may be required while onsite demolition or new construction is in progress. The final layout and design is the "best representation" and must be held as consistently and intended as possible and remain in accordance with OBC2012.

**Dimensions of Existing Conditions:**  
 All areas to be removed to be indicated by a dashed line. All areas to be retained to be indicated by a solid line. All areas to be added to be indicated by a dotted line. All areas to be removed to be indicated by a dashed line. All areas to be retained to be indicated by a solid line. All areas to be added to be indicated by a dotted line.

# PRELIMINARY



# NOT ISSUED FOR CONSTRUCTION

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, freplaces, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
 Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owner, towards items such as:  
 - Mechanical Systems - Electrical Systems - Foundation Drainage Layer  
 - Veneer Styles/Accessories - Window Styles/Accessories - Railing Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
 - All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
 - These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the Undersigned BCN Designer waive any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they comply, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

© Copyright 2023 - All Rights Reserved  
 Annable Designs Co. Ltd.

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	-	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment 4 review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment 4 review

**REVISIONS & RELEASES**

**PLAN LEGEND:**

- Existing Exterior Wall
- Existing Block Wall
- Existing Interior Partition
- Existing - To Be Removed
- Denotes : Bearing Point

DRAWING:  
**EXISTING : LEVEL 2 PLAN**

PROJECT:  
**MULTI-UNIT REDEVELOPMENT PLANS**  
 85 JOHN STREET  
 BROOKVILLE, ON, CANADA



**ANNABLE DESIGNS Co. LTD. IS A PROUD MEMBER**  
 The Approved Professionals Program is your free listing of 100% vetted & approved professionals, businesses and trades. Expanding across the Province of Ontario!  
**Local, Vetted & Trusted Professionals**

Lead Design Firm:  
**Annable Designs**  
 RESIDENTIAL DESIGN-CONSULTING-PLANNING  
 Brockville Offices: Unit 7 - 2211 Parkedale Ave, Brockville, Ontario. 613 - 926 - 5350 info@annabledesigns.ca www.annabledesigns.ca

PROJECT ID NUMBER: **1669**  
 SHEET NUMBER: **Ex3**

COMPLETION DATE: OCTOBER 2023  
 COMPUTER NO: 1669 VER2-ARCH.DWG  
 CAD BY: D. T. ANNABLE  
 SCALE: 1/4" = 1'-0"  
**Rev. 05**

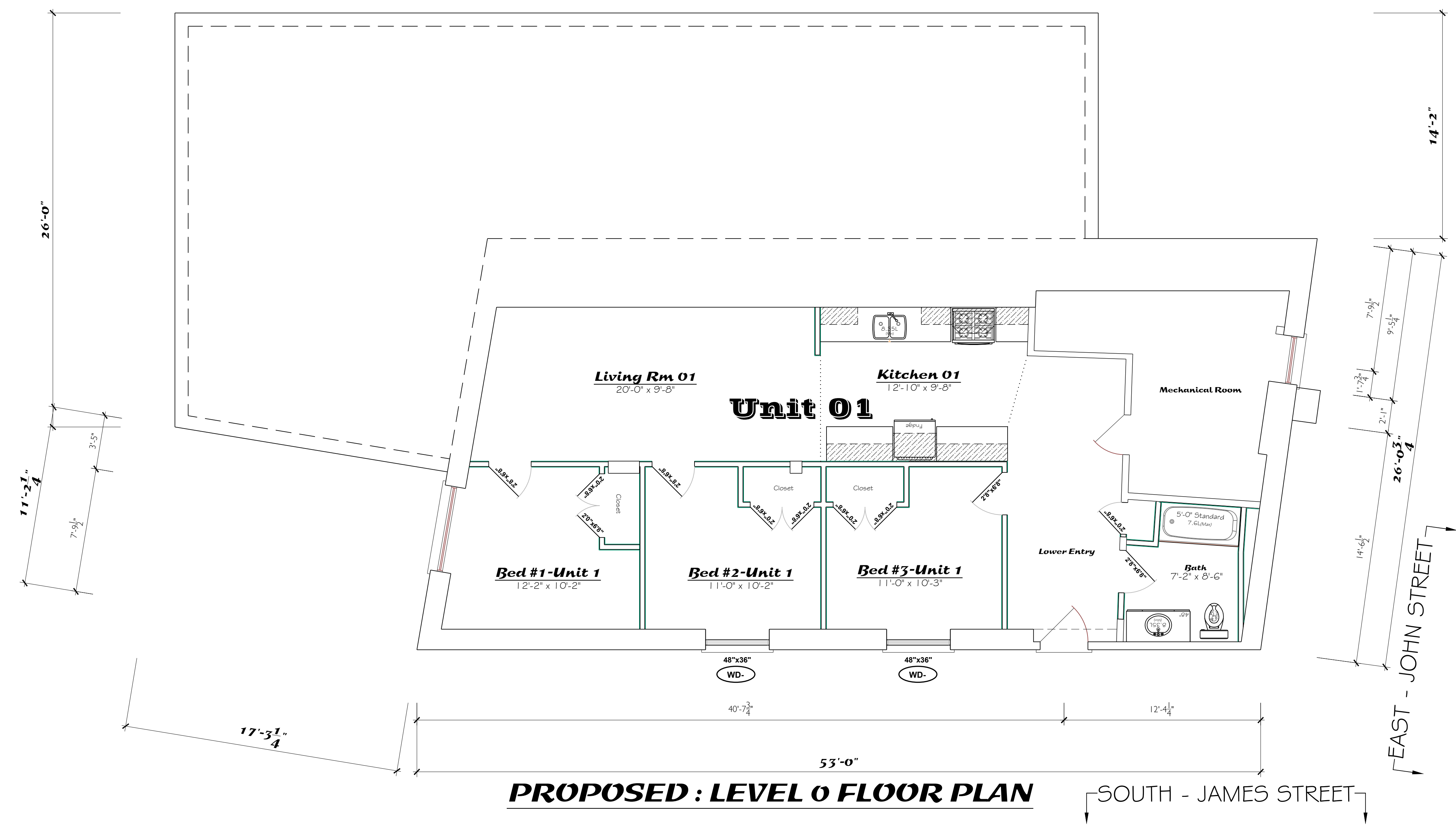
**PLAN CERTIFICATION / VALIDATION**  
 If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.



**Existing Measurements:**  
 Builder / Contractor / Owner to verify all Measurements represented on these plans/diagrams. Design Firm has measured the Existing Conditions to the best of their ability and shall not be liable for discrepancies. Adjustments may be required while onsite demolition or new construction is in progress. The final layout and design is the "best representation" and must be held as consistently and intended as possible and remain in accordance with OBC2012.

**Dimensions of Existing Conditions:**  
 All Measurements are Referenced to:  
 - Face of Wall (as shown) for all Floor Walls  
 - Centerline of Window / Door / Structural Members (Unless Noted Otherwise)  
 - Exterior Dimensions of Existing Building (as illustrated on plans) for all Exterior Walls  
 - Centerline of Window / Door / Structural Members (Unless Noted Otherwise)  
 - Exterior Dimensions of Existing Building (as illustrated on plans)

# PRELIMINARY



**PROPOSED : LEVEL 0 FLOOR PLAN**

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, fireplace, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
 Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owner, towards items such as:  
 - Mechanical Systems  
 - Electrical Systems  
 - Foundation Drainage Layer  
 - Veneer Styles/Accessories  
 - Window Styles/Accessories  
 - Railing Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
 - All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
 - These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the Underwritten BCN Designer waives any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications as a whole and in complete form and the design intent in which they comply, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

**TRUSS & JOIST DESIGN / LAYOUTS:**  
 It is recommended that all Pre-Engineered Floor System and Roof System Plans be forwarded to the Design Firm for review & to have on record with this design file. This responsibility is on the Client / General Contractor.

© Copyright 2023 - All Rights Reserved  
 Annable Designs Co. Ltd.

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	- - -	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment & review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment & review

**REVISIONS & RELEASES**

PLAN LEGEND:

- Existing Stone Foundation
- Existing Block Foundation
- Existing Frame Frost Wall
- Existing Interior Partition
- Existing - To Be Removed
- Denotes : Bearing Point

DRAWING:  
**PROPOSED : LEVEL 0 PLAN**

PROJECT:  
**MULTI-UNIT REDEVELOPMENT PLANS**  
 85 JOHN STREET  
 BROOKVILLE, ON, CANADA

MIRABEL  
 MANAGEMENT INC.

PROJECT ARCHITECT:  
**Conflux ARCHITECTURE INC.**  
 www.confluxarchitecture.ca  
 principal@confluxarchitecture.ca

**ANNABLE DESIGNS Co. LTD. IS A PROUD MEMBER**  
 The Approved Professionals Program is your free listing of 100% vetted & approved professionals, businesses and trades. Expanding across the Province of Ontario!  
**Local, Vetted & Trusted Professionals**

Lead Design Firm:  
**Annable Designs**  
 RESIDENTIAL DESIGN-CONSULTING-PLANNING  
 BROOKVILLE OFFICE  
 613 - 926 - 5350  
 info@annabledesigns.ca  
 www.annabledesigns.ca

PROJECT ID NUMBER: **1669**  
 SHEET NUMBER: **A3**

COMPLETION DATE: OCTOBER 2023  
 COMPUTER NO: 1669 VER2-ARCH.DWG  
 CAD BY: D. T. ANNABLE  
**PRELIMINARY NOT ISSUED FOR CONSTRUCTION**  
**ANNABLE DESIGNS Co. Ltd.**  
 (FIRM) DAVID T. ANNABLE - SR. DESIGNER  
**Rev. 05**

NOT ISSUED FOR CONSTRUCTION

ARCHITECT SEAL - As Required  
 ?? DATE ??

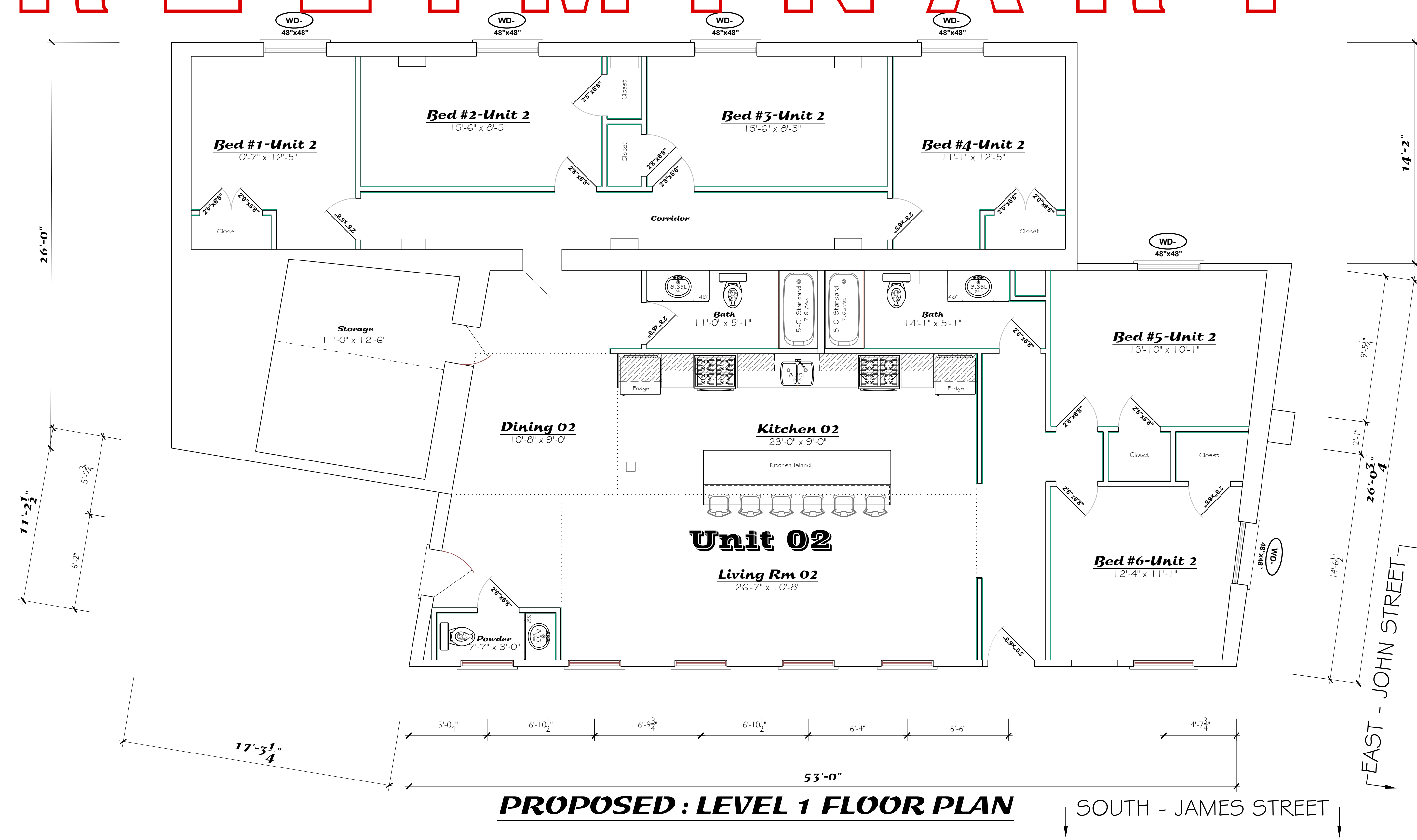
**PLAN CERTIFICATION / VALIDATION**  
 If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.



**Existing Measurements:**  
 Builder / Contractor / Owner to verify all Measurements represented on these plans. Design Firm has measured the Existing Conditions to the best of their ability and shall not be liable for discrepancies. Adjustments may be required while demolition or new construction is in progress. The final layout and design is the "best representation" and must be held as consistently and intended as possible and remain in accordance with OBC2012.

**Dimensions of Existing Conditions:**  
 All Measurements are Referenced to:  
 - Face of Wall (assumed 1/2" for all Floor Walls)  
 - Face of Wall (assumed 1/2" for all Floor Walls)  
 - Centerline of Window / Door / Structural Members (Unless Noted)  
 - Exterior Dimensions (Unless Noted)  
 - Centerline of Opening (as illustrated on plans)

# PRELIMINARY



**PROPOSED : LEVEL 1 FLOOR PLAN**

NOT ISSUED FOR CONSTRUCTION

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, fireplaces, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
 Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owner, towards items such as:  
 - Mechanical Systems - Electrical Systems - Foundation Drainage Layer  
 - Veneer Styles/Accessories - Window Styles/Accessories - Railing Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
 - All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
 - These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the Undersigned BCN Designer waives any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they comply, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

**TRUSS & JOIST DESIGN / LAYOUTS:**  
 It is recommended that all Pre-Engineered Floor System and Roof System Plans be forwarded to the Design Firm for review & to have on record with this design file. This responsibility is on the Client / General Contractor.

© Copyright 2023 - All Rights Reserved  
 Annable Designs Co. Ltd.

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	- - -	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment & review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment & review

**REVISIONS & RELEASES**

PLAN LEGEND:  
 Existing Exterior Wall  
 Existing Block Wall  
 Existing Interior Partition  
 Existing - To Be Removed  
 Denotes : Bearing Point

DRAWING:  
**PROPOSED : LEVEL 1 PLAN**

PROJECT:  
 MULTI-UNIT REDEVELOPMENT PLANS  
 85 JOHN STREET  
 BROOKVILLE, ON, CANADA



PROJECT ARCHITECT:  
**Conflux ARCHITECTURE INC.**  
 www.confluxarchitecture.ca  
 principal@confluxarchitecture.ca

**ANNABLE DESIGNS Co. LTD. IS A PROUD MEMBER**  
 The Approved Professionals Program is your free listing of 100% vetted & approved professionals, businesses and trades. Expanding across the Province of Ontario!  
**Local, Vetted & Trusted Professionals**

Lead Design Firm:  
**Annable Designs**  
 RESIDENTIAL DESIGN-CONSULTING-PLANNING

Brookville Offices:  
 Unit 7 - 2211 Parkedale Ave  
 Brookville, Ontario

613 - 926 - 5350  
 info@annabledesigns.ca  
 www.annabledesigns.ca

PROJECT ID NUMBER: **1669**

SHEET NUMBER: **A4**

COMPLETION DATE: OCTOBER 2023  
 COMPUTER NO: 1669 VER2-ARCH.DWG  
 CAD BY: D. T. ANNABLE  
 SCALE: 1/4" = 1'-0"  
**Rev. 05**

ARCHITECT SEAL - As Required

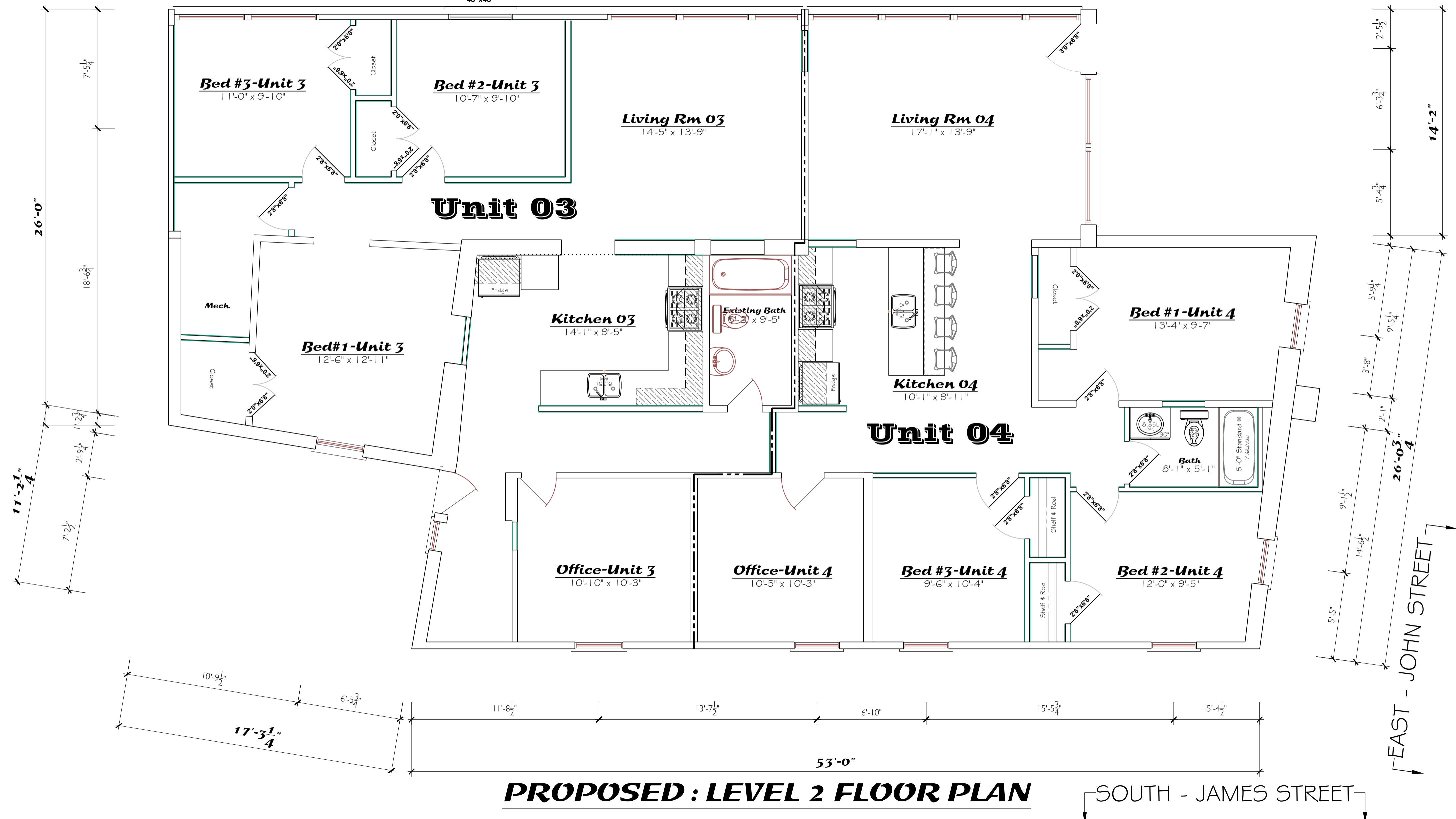
**PLAN CERTIFICATION / VALIDATION**  
 If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.



**Existing Measurements:**  
 Builder / Contractor / Owner to verify all Measurements represented on these plans/designs. Design Firm has measured the Existing Conditions to the best of their ability and shall not be liable for discrepancies. Adjustments may be required while onsite identification on new construction is in progress. The final layout and design is the "best representation" and must be held as consistently and intended as possible and remain in accordance with ODQ2012.

**Dimensions of Existing Conditions:**  
 All Measurements are Referenced to:  
 - Face of Wall (assumed 1/2" for all Interior Walls)  
 - Centerline of Window / Door / Structural Members (Unless Noted)  
 - Exterior Dimensions of Building (as illustrated on plans)  
 - Centerline of Opening

# PRELIMINARY



**PROPOSED : LEVEL 2 FLOOR PLAN**

SOUTH - JAMES STREET

EAST - JOHN STREET

These plans for the basis for Permit Insurance and any deviations from these plans, specification and details including the ventilation system, heating system, wood stove, fireplace, decks, balconies and/or finished basements will require a revised drawing authorized by the Design Firm and with clearance by the Local Building & Planning Department.

**Owner / General Contractor Requirements / Specifications:**  
 Annable Designs Co. Ltd. has been contracted to complete the illustrated designs, but some additional specifications, features and/or decisions will be the responsibility of the Project Contractor or Home Owner, towards items such as:  
 - Mechanical Systems  
 - Electrical Systems  
 - Foundation/Drainage Layer  
 - Veneer/Styles/Accessories  
 - Window/Styles/Accessories  
 - Railing/Styles/Accessories  
 \*In addition to Interior Design items such as Finishes, Colors and Stylistic Finish Materials.

- Contractor to Verify ALL DIMENSIONS before construction.  
 - All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.  
 - These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the Undersigned BCN Designer waives any and all responsibility and/or liability for problems which arise from failure to follow the plans, specifications (as a whole and in complete form) and the design intent in which they comply, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

**TRUSS & JOIST DESIGN / LAYOUTS:**  
 It is recommended that all Pre-Engineered Floor System and Roof System Plans be forwarded to the Design Firm for review & to have on record with this design file. This responsibility is on the Client / General Contractor.

© Copyright 2023 - All Rights Reserved  
 Annable Designs Co. Ltd.

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	-	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment & review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment & review

**REVISIONS & RELEASES**

#	By	Date of Rev.	Description of Revision
5	DTA	DEC 15-23	REVISED : as per client comments received
4	DTA	OCT 06-23	REVISED : as per client comments received
3	-	OCT 02-23	REOPEN PROJECT - VERSION 02
2	DTA	APR 01-22	REVISED : as per client comments received
1	JDA	MAR 03-22	PRELIMINARY DRAFT : for client comment & review
-	DTA	JAN 04-22	PRELIMINARY DRAFT : for client comment & review

**PLAN LEGEND:**  
 Existing Exterior Wall  
 Existing Block Wall  
 Existing Interior Partition  
 Existing - To Be Removed  
 Denotes : Bearing Point

DRAWING:  
**PROPOSED : LEVEL 2 PLAN**

PROJECT:  
**MULTI-UNIT REDEVELOPMENT PLANS**  
 85 JOHN STREET  
 BROOKVILLE, ON, CANADA

MIRABEL  
 MANAGEMENT INC.

PROJECT ARCHITECT:  
**Conflux ARCHITECTURE INC.**  
 www.confluxarchitecture.ca  
 principal@confluxarchitecture.ca

APPROVED  
**ONTARIO**  
 PROFESSIONAL  
**ANNABLE DESIGNS Co. LTD.**  
 IS A PROUD MEMBER  
 The Approved Professionals Program is your free listing of 100% vetted & approved professionals, businesses and trades. Expanding across the Province of Ontario!  
**Local, Vetted & Trusted Professionals**

Lead Design Firm:  
**Annable Designs**  
 RESIDENTIAL DESIGN-CONSULTING-PLANNING  
 BROOKVILLE OFFICE  
 613 - 926 - 5350  
 Unit 7 - 2211 Parkedale Ave  
 Brookville, Ontario info@annabledesigns.ca  
 www.annabledesigns.ca

PROJECT ID NUMBER: **1669**  
 SHEET NUMBER: **A5**

COMPLETION DATE: OCTOBER 2023  
 COMPUTER NO: 1669 VER2-ARCH.DWG  
 CAD BY: D. T. ANNABLE  
 SCALE: 1/4" = 1'-0"  
**Rev. 05**

NOT ISSUED FOR CONSTRUCTION

ARCHITECT SEAL - As Required  
 ?? DATE ??

**PLAN CERTIFICATION / VALIDATION**  
 If the Signature on this plan is not in Original RED Ink then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.